



# Notice of Preparation

**Date:** June 21, 2017

**To:** Office of Planning and Research, Responsible and Trustee Agencies, and Interested Parties

**From:** City of Fremont, Planning Division

**Subject: Notice of Preparation of an Environmental Impact Report for Ursa Residential Development Project**

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The City of Fremont (City) will be the Lead Agency and will prepare an Environmental Impact Report (EIR) for the project described below. We request comments from your agency regarding the scope and content of the EIR, which are germane to your agency's statutory responsibilities in connection with the proposed project. The EIR may be used by your agency when considering subsequent permits or approvals necessary for the project.

An Initial Study (Environmental Checklist) has been prepared for the project to evaluate the potentially significant effects the project may have on the environment. The Initial Study is available for review at the City of Fremont Development Services Center at 39550 Liberty Street, Fremont, CA or on the City's website at: <http://www.fremont.gov/ceqa>.

**Project Title:** Ursa Residential Development Project (PLN2017-00188)

**Project Applicant:** Robson Homes, 2185 The Alameda, San Jose, CA 95126

**Project Location (include county):** 48495 Ursa Drive, Fremont, CA 94539  
Alameda County, Assessor's Parcel Number 519-1080-047  
(See attached vicinity map and site plan)

**Existing Conditions:** The project site is a 2.67-acre parcel with its primary frontage on Ursa Drive in the southern portion of the City of Fremont near the north-south Interstate 680 corridor. The main area of the site is rectangular in shape, with a narrow strip extending to Warm Springs Boulevard (providing current site access). The site is relatively flat, sloping gently towards the west, from an elevation of approximately 75 feet mean sea level (MSL) to 48 feet MSL. The subject property contains a ca. 1928 house, ca. 1905 barn, and outbuildings, which are remnants of a larger 12.35-acre fruit farm dating back to 1905. The property is eligible for historic listing.

**Project Description:** The project proposes development of a 24-lot subdivision that would contain 18 single-family residences (17 new homes and relocation of the existing on-site home). The project would rezone the 2.67-acre site from R-1-6 to a Planned District. The proposed development at a residential density of 6.73 dwelling units per acre would comply with the site's Low Density Residential General Plan land use designation (2.3 to 8.7 dwelling units per acre).

The property and existing original farmstead structures on the site (single-family residence, tankhouse, barn, and other accessory structures) have been evaluated as potentially eligible for the California Register of Historical Resources and National Register of Historic Places. The existing eligible historic home and tankhouse structures, currently near the center of the project site, would be relocated to the southeast corner of the site and rehabilitated, including an addition to the dwelling. The other existing structures on the project site would be demolished. Proposed access to the site would be from a new private cul-de-sac off Ursa Drive.

**Potential Environmental Effects:** Upon initial review, as described in the Initial Study, the Draft EIR will address the following potential environmental effects:

- Historic Resources

Due to the time limits mandated by state law, your response must be sent at the earliest possible date but no later than 30 days from receipt of this notice. Please send your response to:

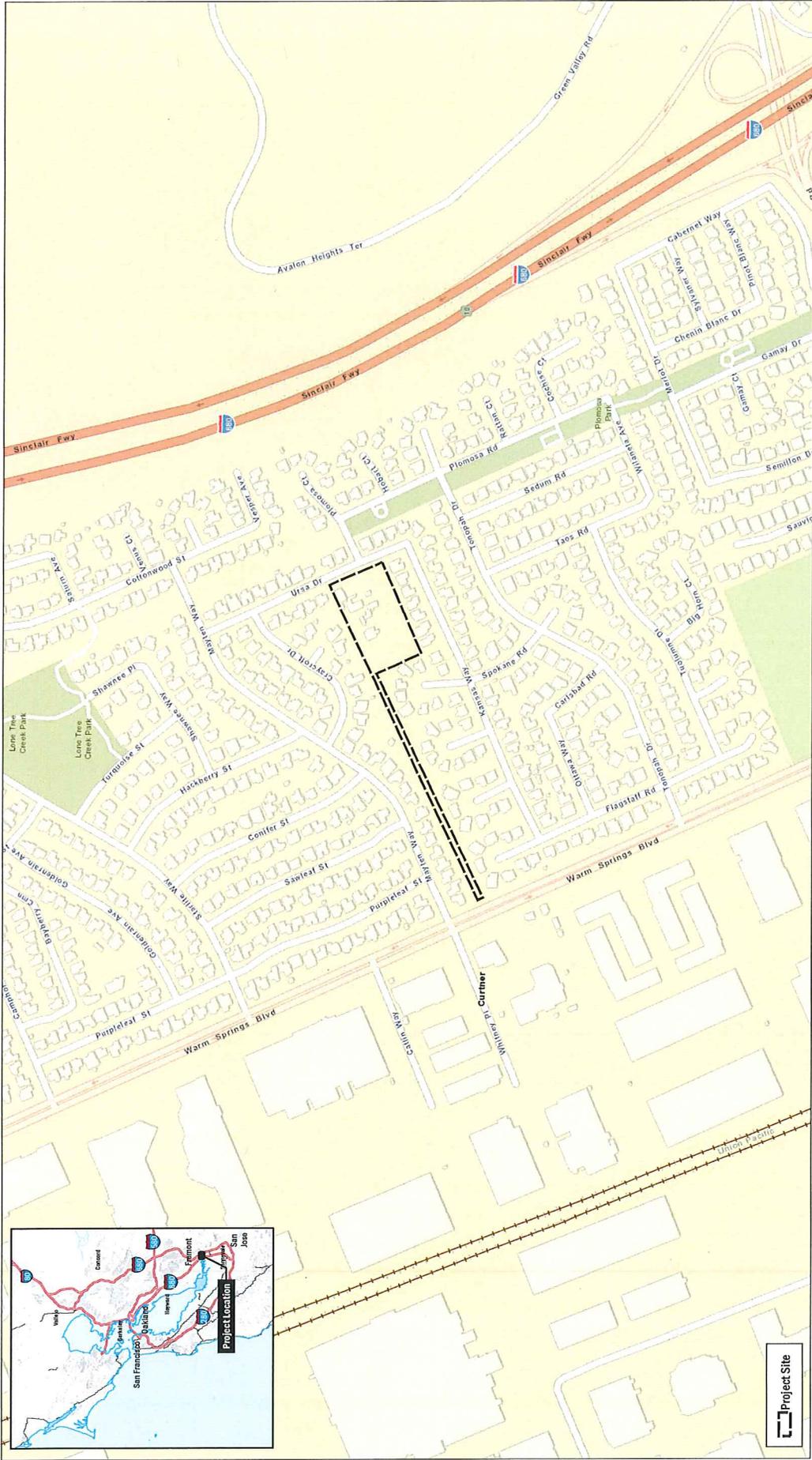
Bill Roth, Associate Planner – Current Development  
City of Fremont, Planning Division  
39550 Liberty Street  
Fremont, CA 94537  
E-mail: [broth@fremont.gov](mailto:broth@fremont.gov)

If you have any questions regarding the project or information in the NOP, please contact Bill Roth at (510) 494-4450.

Signature (Lead Agency): *Kristie Wheeler* Title: Planning Manager

Attachments:

Figure 1: Vicinity Map  
Figure 2: Site Plan



Imagery: ESRI, 2017

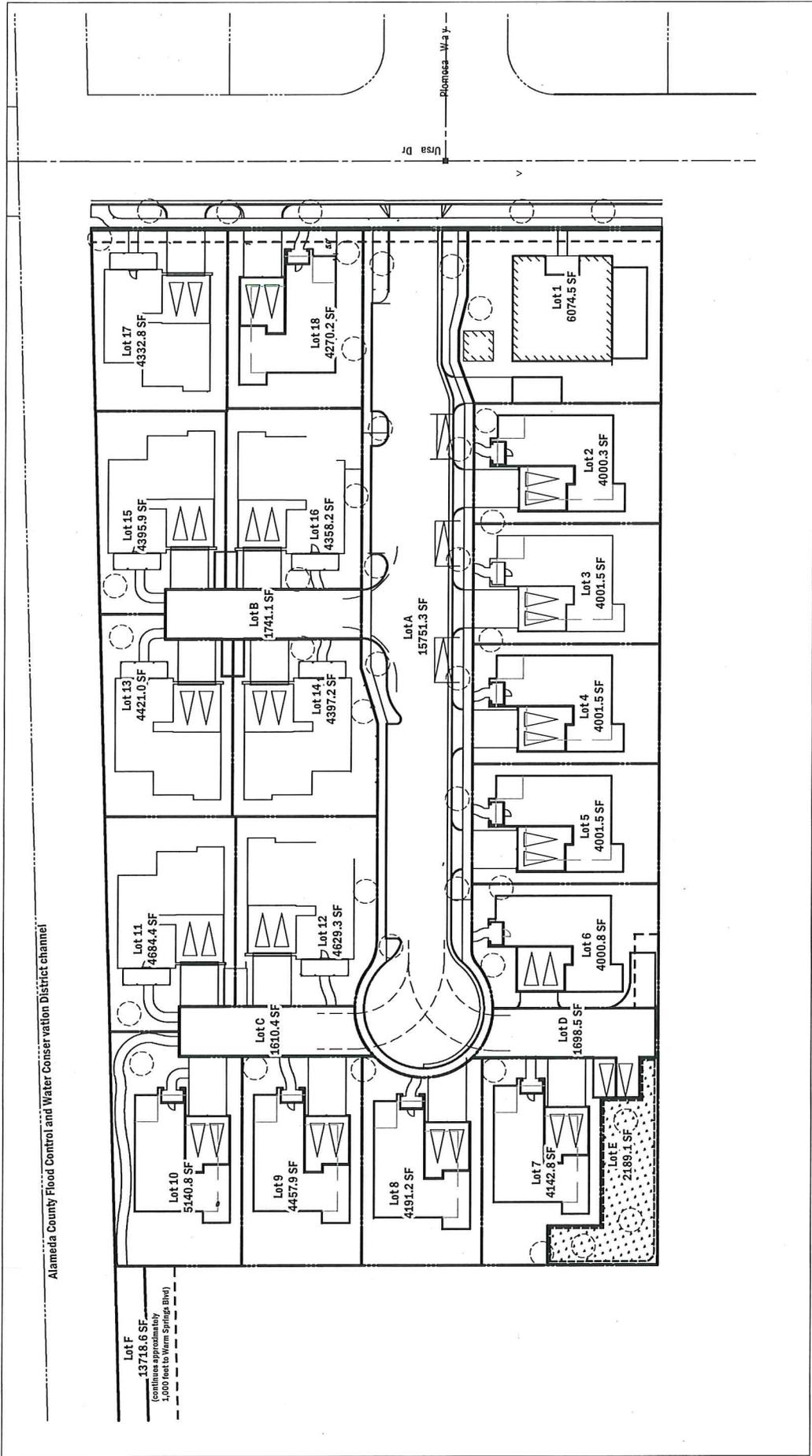
**FIGURE 1**  
Project Site and Vicinity Map

Project Site

0 500 Feet



**AECOM**  
City of Fremont  
Urs Residential Development



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**FIGURE 2**  
Proposed Project Site Layout