

RESIDENTIAL:  
**REROOFING**

**GENERAL INFORMATION:**

A building permit is required whenever all or a portion of an existing roof is removed and replaced or whenever a new roof is installed over an existing roof. Typical additional work often done along with reroofing, such as installing skylights or structural repairs or changes, also requires permits.

All roofing must meet requirements of the California Building Code and the City of Fremont Ordinances. For specific requirements please refer to the currently adopted California Building Code, Chapters 15 and 35 and the City of Fremont Ordinances.

**THINGS TO KNOW:**

- All roofing must meet requirements of the most current California Building Code, Building Energy Efficiency Standard of Climate Zone 3 and the City of Fremont Local Ordinances.
- All roofing design shall meet the requirements of the City of Fremont Planning Department.
- Roofing Installation must meet the California Building Code requirements for types and fire rated class of roofing, drainage, decking, underlayment and interlayment, attachment, exposure and flashing and any other approved manufacturer's installation requirements.

**PERMITS:**

Permits can be issued at the Development Services Center or by fax. To apply for a reroofing permit, please provide a completed application, including:

- Type of roofing material and/or product name.
- Class of roofing assembly - Class A, B or C.
- Amount of reroofing area.
- For overlay roofing - type of existing and new materials and the number of existing roof layers.
- For proprietary roofing - approval information and manufacturer's installation requirements.
- Structural calculations for roofing increased to more than 7 pounds per square foot dead load.
- Check and see if your property is *IN* the Wildland Urban Interface (WUI) Area; there will be additional code requirements. (For more information, see below)

**FORMS REQUIRED FOR SUBMITTAL:**

- Building Permit Application Form
- Owner/Builder Form (if applicable)
- Statement of Storm Water Pollution Prevention
- Construction Debris Acknowledgement Form and Waste Management Plan
- Letter of Approval of the HOA, if applicable

**TWO (2) SETS OF THE FOLLOWING REPORTS (ONE SET AT ISSUANCE, ONE SET IN THE FIELD):**

- Prescriptive or Performance Certificate of Compliance Forms- CF-1R- ALT
- Manufacturer's Specification
- ICC ESR Report Number
- Cool Roof Rating Council Product Number

**FEES:**

Permit fees for roofing are based on the value of the work, including materials and labor. Additional fees may apply if plans must be reviewed. Please refer to the Building Permit Fee Schedule located on our website.

**INSPECTIONS:**

Required inspections for most reroofing projects are identified below. Inspection for roof sheathing is always required for new or old roofs.

- 1) Roof Sheathing/Roof Deck inspection (Inspection Type Code 124):
  - *All dry rot conditions must have been corrected.*
  - *All plywood/sheathing must be nailed if applicable.*
- 2) Final Inspection (Inspection Type Code 199):

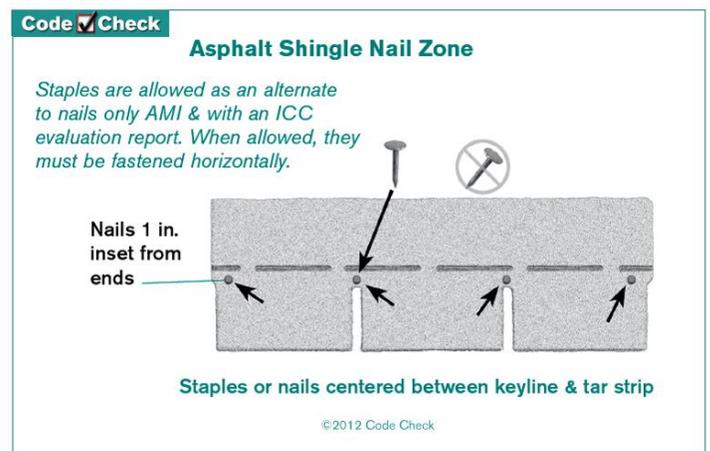
**TO SCHEDULE AN INSPECTION:**

Please call our Automated Inspection Request Service or online at [Fremont.gov/CitizenAccess](http://Fremont.gov/CitizenAccess). Inspections may be requested up to 3 days in advance of the requested inspection day, but no later than 3:00 pm the business day prior to the requested inspection day.

To identify the time of day your project is scheduled for inspection, please call your inspector directly on the scheduled inspection day at 8:00 am. The inspector's name and phone number are identified on the Inspection Record card.

**ADDITIONAL INFORMATION & REQUIREMENTS:**

- **Minimum Class Requirements –**  
Less than Class C fire rated roofs are not permitted in the City of Fremont. Roofs installed or replaced on buildings in the Wildland-Urban Interface Fire Area must be Class A fire retardant rated. (FMC 15.10.240)
- **Wildland-Urban Interface Area Additional Requirements – (CRC R337.5-R337.5.4)**
  - **R337.5.1 General.** Roofs shall comply with the requirements of Sections R337 and R902. Roofs shall have roofing assembly installed in accordance with its listing and manufacturer's installation instructions
  - **R337.5.2 Roof coverings.** Where the roof profile allows a space between the roof covering and roof decking, the spaces shall be constructed to prevent the intrusion of flames and embers, be firestopped with approved materials or have one layer of minimum of 72 pound mineral-surfaced non-perforated cap sheet complying with ASTM D3909 installed over the combustible decking.

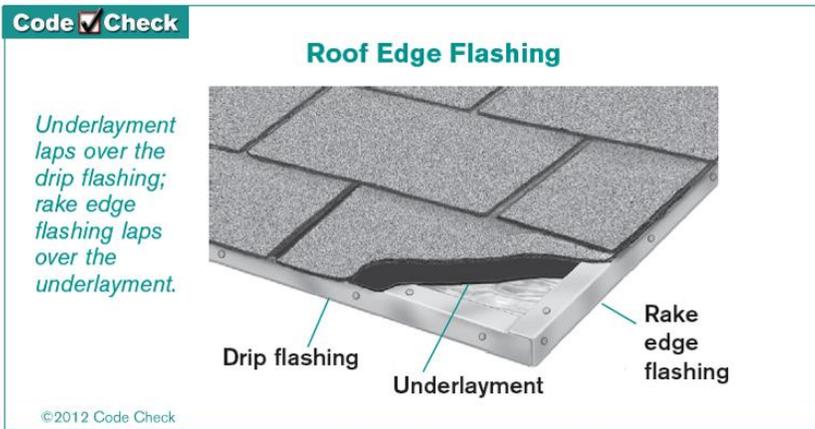


- **R337.5.3 Roof valleys.** Where valley flashing is installed, the flashing shall be not less than 0.019” (0.48 mm) No. 26 gage galvanized sheet corrosion-resistant metal installed over not less than one layer of minimum 72-pound mineral-surfaced nonperforated cap sheet complying with ASTM D3909 at least 36” wide running the full length of the valley.
  - **R337.5.4 Roof gutters.** Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter.
- **Roofing Products and Labeling** – All roofing materials must be approved listed products must be labeled or include a certificate showing the manufacturer’s name, the class of the material, and the approval or testing agency for the product.
  - **Roofing Weight** – Increasing total added roofing weight (roofing material, roof framing and sheathing) more than 7 pounds per square foot dead load may require structural calculations by a licensed civil/structural engineer.
  - **Roof Underlayment:** Synthetic needs to be installed per manufacturer’s specifications. For roof slopes from two units vertical in 12 units horizontal (17-percent slope), up to four units vertical in 12 units horizontal (33percent slope), underlayment shall be two layers applied in the following manner. Apply a 19-inch (483 mm) strip of underlayment felt parallel to and starting at the eaves, fastened sufficiently to hold in place. Starting at the eave, apply 36-inch-wide (914 mm) sheets of underlayment, overlapping successive sheets 19 inches (483 mm), and fastened sufficiently to hold in place. Distortions in the underlayment shall not interfere with the ability of the shingles to seal. For roof slopes of four units vertical in 12 units horizontal (33-percent slope) or greater, underlayment shall be one layer applied.
  - **Metal Flashings and Edgings, etc.:** A flashing shall be installed to divert the water away from where the eave of a sloped roof intersects a vertical sidewall. Where flashing is of metal, the metal shall be corrosion resistant with a thickness of not less than 0.019 inch (0.5 mm) (No. 26 gage galvanized sheet). Missing, rusted or damaged flashings and counter flashings, vent caps and metal edging must be installed or replaced with new materials. Items not damaged and intended for reuse must be removed, cleaned and primed prior to reinstallation. Gutters are not included in this requirement.

### **Roofing Overlays -**

Roofing may be overlaid on existing roof if:

- The new roofing materials, the existing roofing, the roof design and the number of overlays are allowed by the code. Roofing may be two layers maximum.
- The roof structure can sustain the weight of the additional dead load.
- The roof deck is structurally sound.
- Roof drains and drainage are sufficient.
- The existing roof is securely attached.
- The existing insulation is not water soaked.
- The fire retardant requirements are maintained.



- **Title 24 Energy Requirements** – Where more than 50 percent of the roof or more than 1,000 square feet of roof, whichever is less, is being replaced. For Steep-sloped roofs (2:12 and greater) roofing products with a density of 5 pounds per square foot or more in climate zones 1 through 16 shall have a minimum aged solar reflectance of 0.15 and minimum thermal remittance of 0.75, or a minimum SRI of 10 (Section 152(b) Hi & Hii)

**Alternatives to above requirements are:**

- Insulation with a thermal resistance of at least 0.85 hours square foot F/Btu or at least a ¾ inch air space in added to the roof deck over an attic; or
- Existing ducts in the attic are insulated and sealed according to Section 151 (f) (10) of the Building Energy Efficiency Standards; or
- Buildings with at least R-30 ceiling insulation; or
- Buildings with a radiant barrier in the attic meeting the requirements of Section 151 (f) (2) of the Building Energy Efficiency Standards; or
- Buildings that have no ducts in the attic

**CONTACT INFORMATION:**

**DEVELOPMENT SERVICES CENTER** - 39550 Liberty Street, Fremont, CA 94538 - (510) 494-4443

Building and Safety	(510) 494-4400	Plans & Permits Division	(510) 494-4460
Community Preservation	(510) 494-4430	Planning Division	(510) 494-4440
Inspection Scheduling	(510) 494-4885	Zoning Information Line	(510) 494-4455